

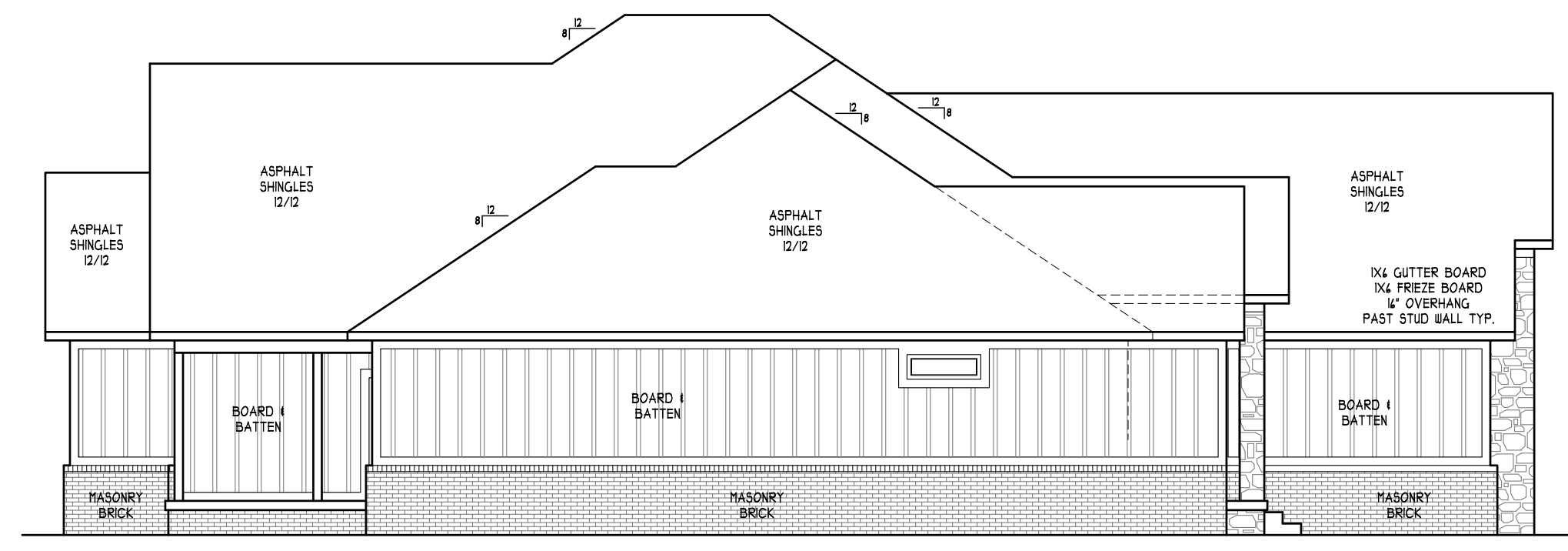
REVISIONS	DATE

PROJECT HASTINGS RESIDENCE  
 ZION ESTATES LOT II  
 SHEET TITLE ELEVATIONS

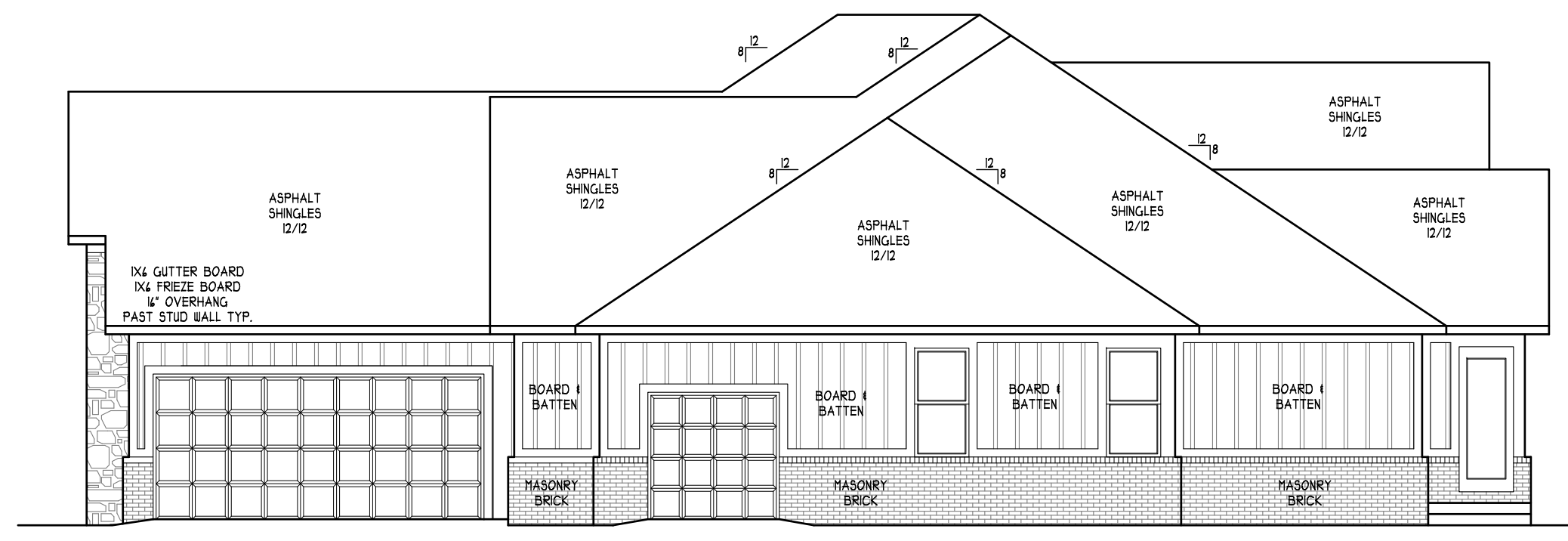
CLIENT INFORMATION

SHAW A DESIGN  
 WHERE DRAFTING MEETS DESIGN  
 NOBLESVILLE, INDIANA 46060  
 EPHAL@SHAWDESIGNORMAIL.COM

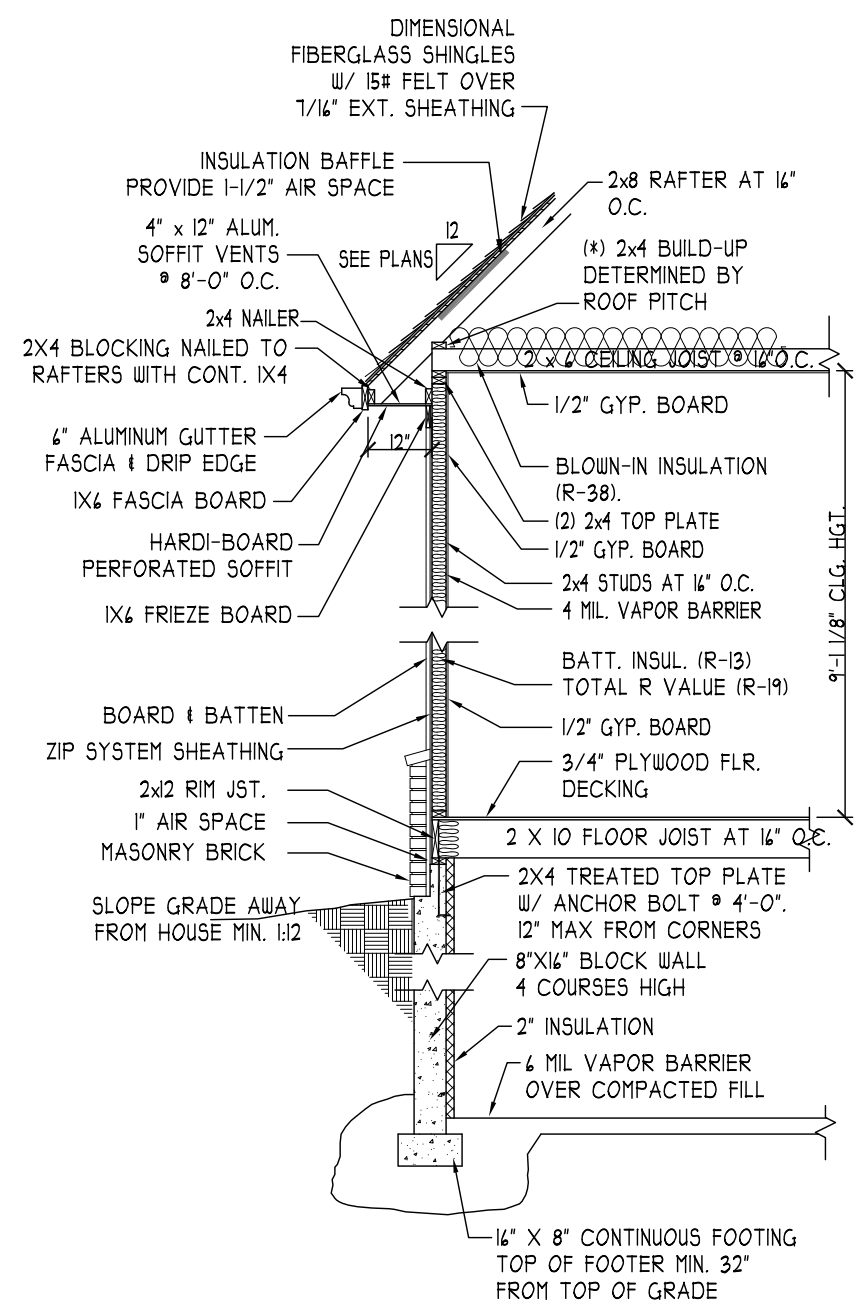
SHEET NO A-1  
 OF 4  
 DATE 1/31/25  
 DWN NO 6



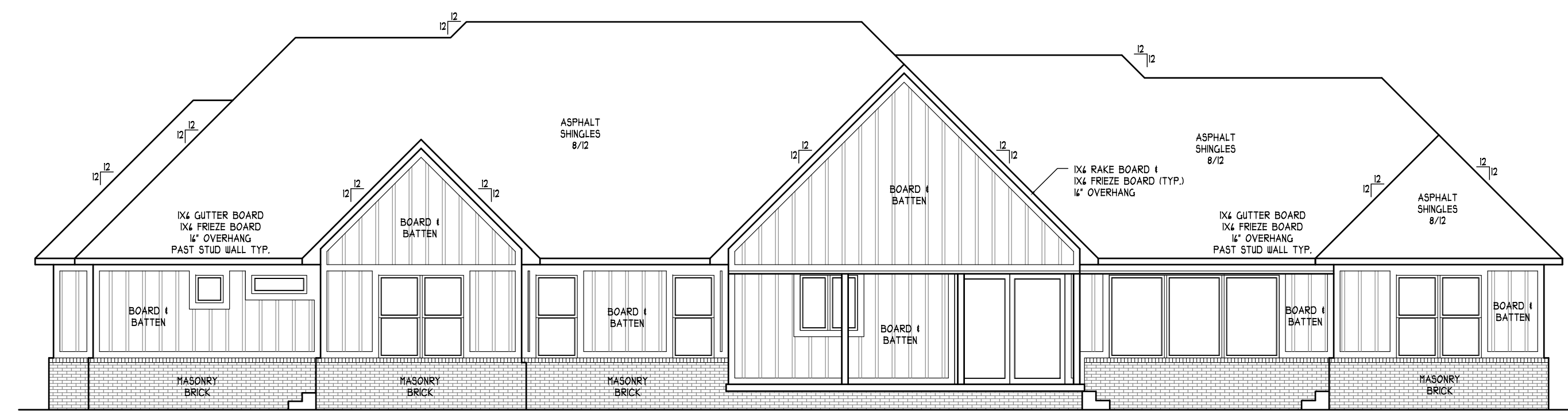
LEFT ELEVATION  
 SCALE: 1/8"=1'-0"



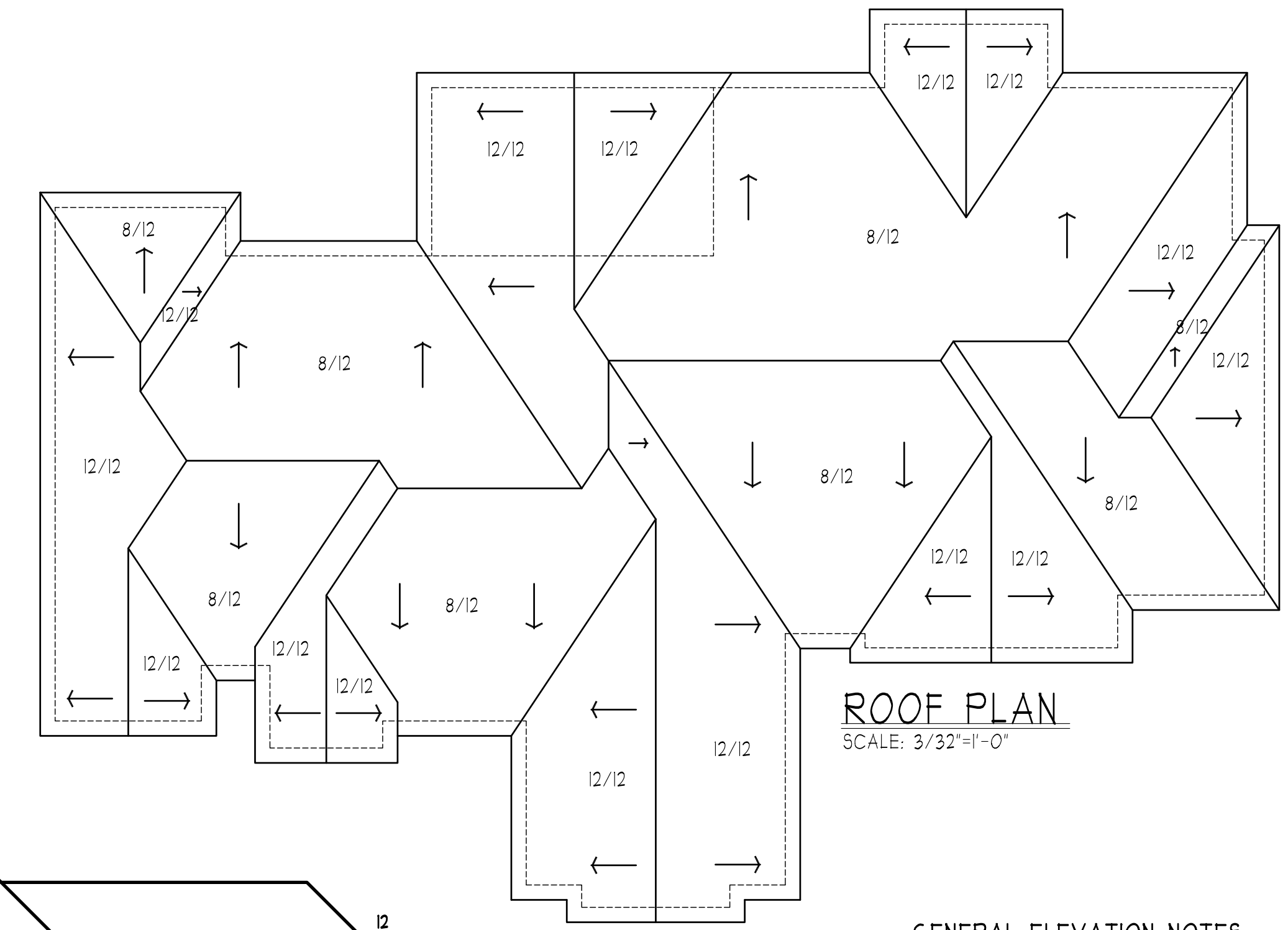
RIGHT ELEVATION  
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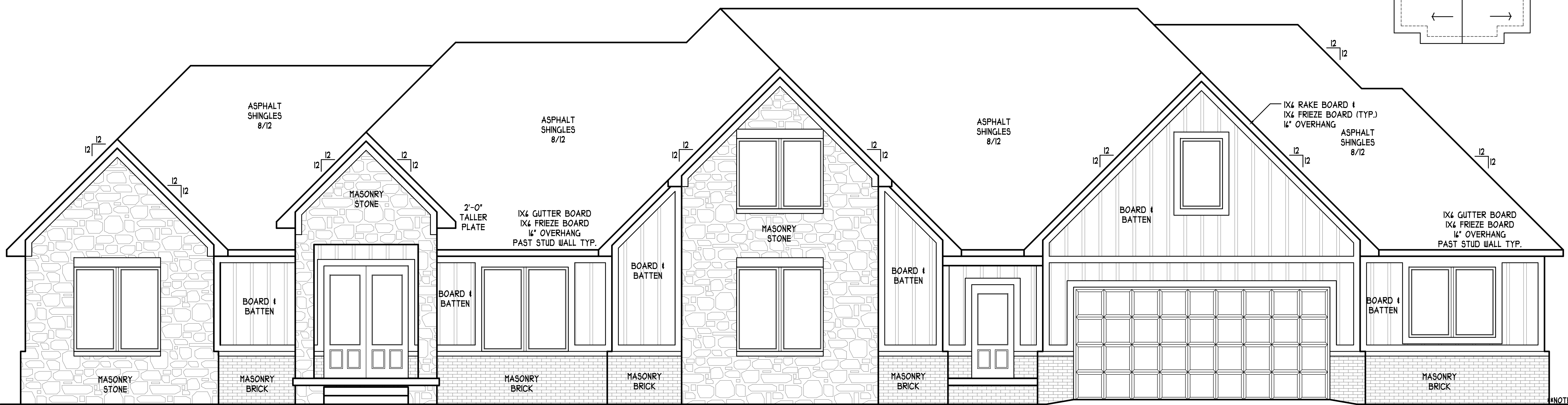
WALL SECTION  
 SCALE: 1/4"=1'-0"



REAR ELEVATION  
 SCALE: 1/8"=1'-0"



ROOF PLAN  
 SCALE: 3/32"=1'-0"



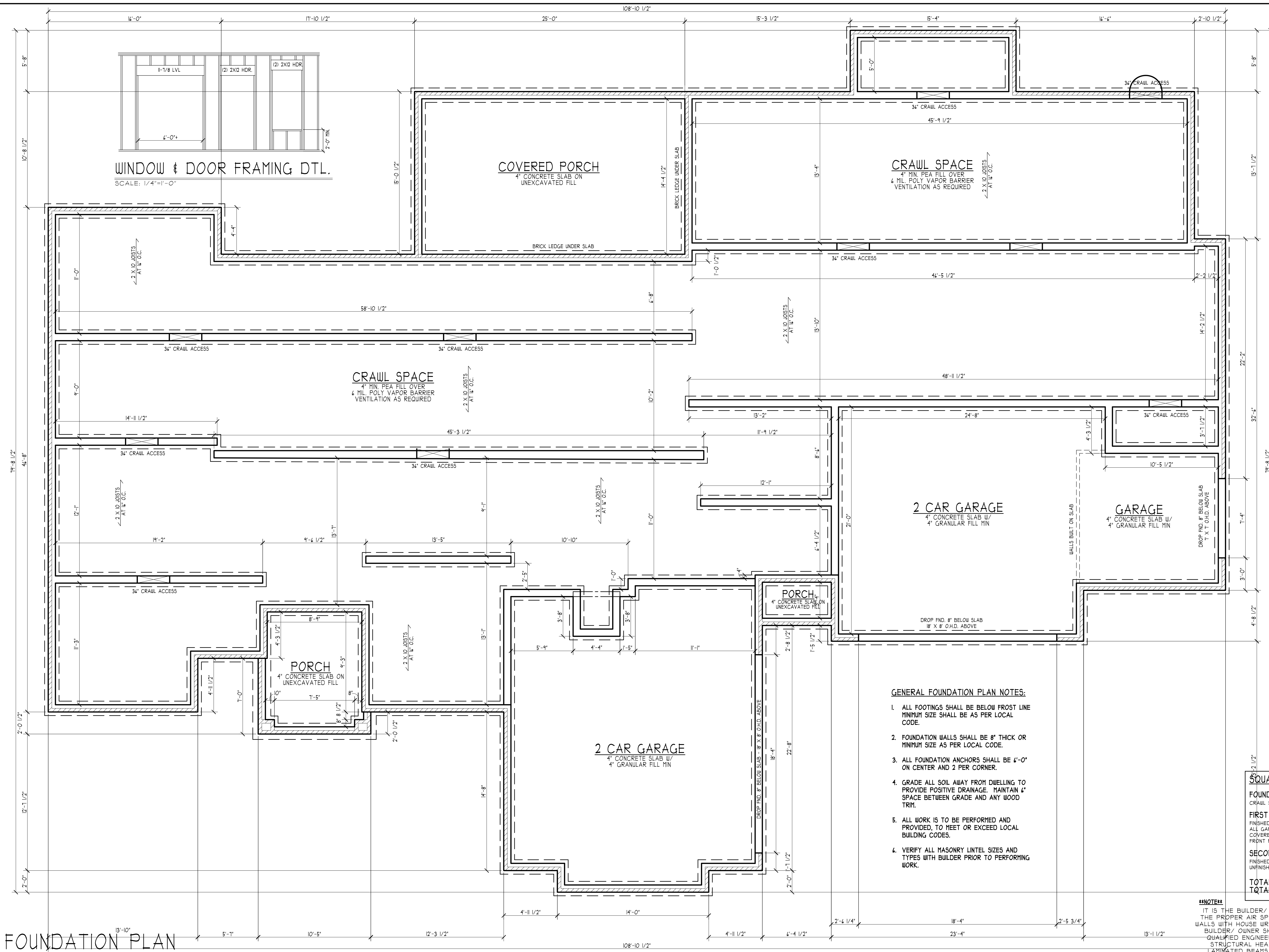
FRONT ELEVATION  
 SCALE: 1/4"=1'-0"

- GENERAL ELEVATION NOTES:**
1. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
  2. VERIFY LOCATIONS, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH BUILDER.
  3. ALL ROOF, CHIMNEY AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.

**SQUARE FOOTAGE TABLE**

<b>FOUNDATION</b>	
CRAWL SPACE	3819 SF
<b>FIRST FLOOR</b>	
FINISHED SQUARE FOOTAGE	3952 SF
ALL GARAGE SQUARE FOOTAGE	1261 SF
COVERED PORCH SQUARE FOOTAGE	397 SF
FRONT PORCH SQUARE FOOTAGE	110 SF
<b>SECOND FLOOR</b>	
FINISHED SQUARE FOOTAGE	651 SF
UNFINISHED SQUARE FOOTAGE	0 SF
<b>TOTAL FINISH SQ. FT.</b>	<b>4603SF</b>
<b>TOTAL SQUARE FOOTAGE</b>	<b>4603SF</b>

**NOTE#**  
 IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.



**WINDOW & DOOR FRAMING DTL.**  
SCALE: 1/4"=1'-0"

**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

**GENERAL FOUNDATION PLAN NOTES:**

1. ALL FOOTINGS SHALL BE BELOW FROST LINE MINIMUM SIZE SHALL BE AS PER LOCAL CODE.
2. FOUNDATION WALLS SHALL BE 8" THICK OR MINIMUM SIZE AS PER LOCAL CODE.
3. ALL FOUNDATION ANCHORS SHALL BE 4'-0" ON CENTER AND 2 PER CORNER.
4. GRADE ALL SOIL AWAY FROM DWELLING TO PROVIDE POSITIVE DRAINAGE. MAINTAIN 4" SPACE BETWEEN GRADE AND ANY WOOD TRIM.
5. ALL WORK IS TO BE PERFORMED AND PROVIDED, TO MEET OR EXCEED LOCAL BUILDING CODES.
6. VERIFY ALL MASONRY LINTEL SIZES AND TYPES WITH BUILDER PRIOR TO PERFORMING WORK.

**SQUARE FOOTAGE TABLE**

FOUNDATION	
CRAWL SPACE	3819 SF
FIRST FLOOR	
FINISHED SQUARE FOOTAGE	3952 SF
ALL GARAGE SQUARE FOOTAGE	1261 SF
COVERED PORCH SQUARE FOOTAGE	397 SF
FRONT PORCH SQUARE FOOTAGE	110 SF
SECOND FLOOR	
FINISHED SQUARE FOOTAGE	651 SF
UNFINISHED SQUARE FOOTAGE	0 SF
<b>TOTAL FINISH SQ. FT.</b>	<b>4603SF</b>
<b>TOTAL SQUARE FOOTAGE</b>	<b>4603SF</b>

**NOTES:**  
IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP, TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

SCALE: 1/4"=1'-0"  
DRAWN BY: MUB  
CHECKED: MUB

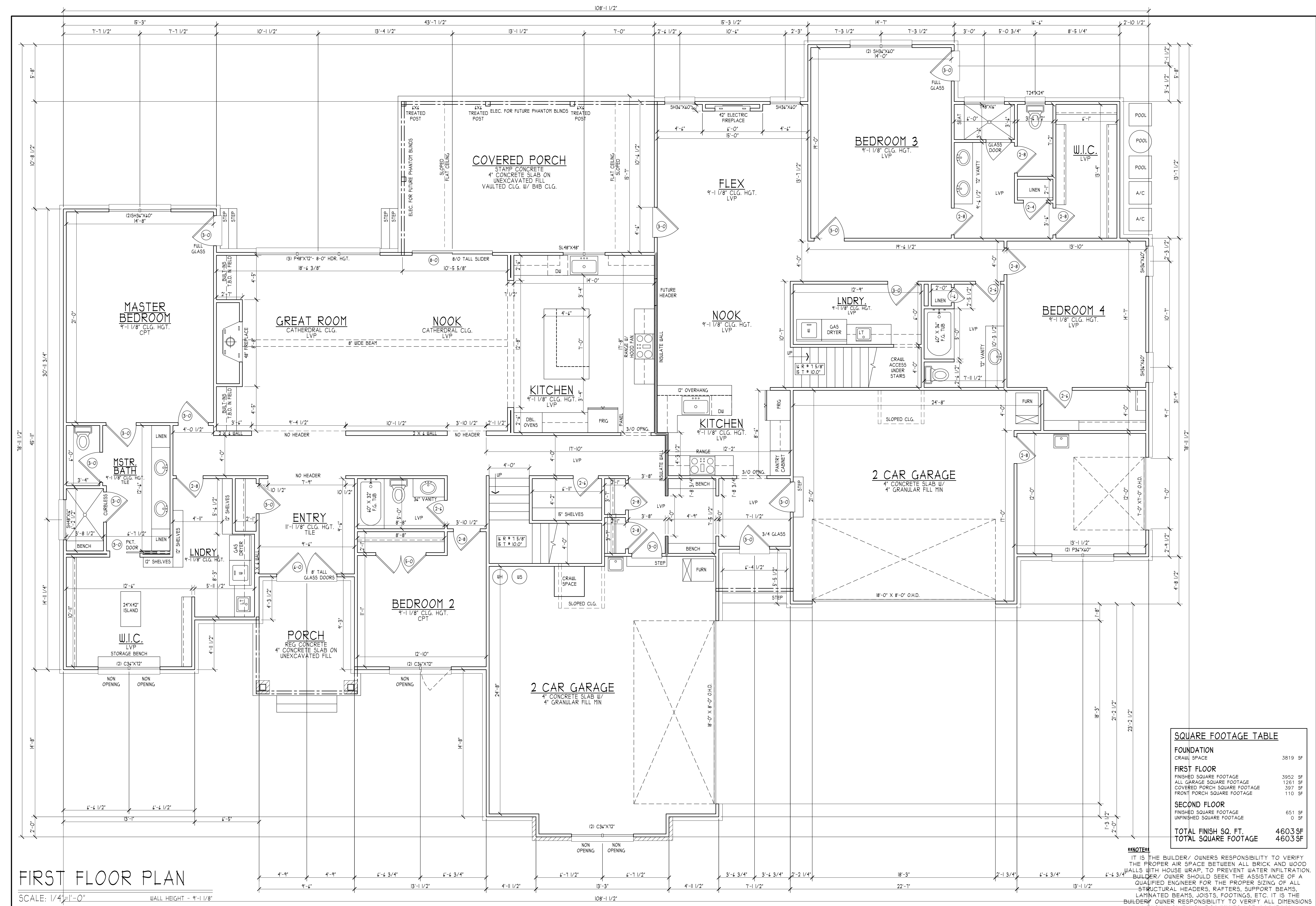
DATE	REVISIONS

PROJECT: HASTINGS RESIDENCE  
ZION ESTATES LOT 11  
SHEET TITLE: FOUNDATION PLAN

CLIENT INFORMATION

**SHAW A DESIGN**  
WHERE DRAFTING MEETS DESIGN  
NORLEEVILLE, INDIANA 46060  
EMAIL: SHAWDESIGN@GMAIL.COM

SHEET NO: A-2  
OF 4  
DATE: 1/31/25  
DWN NO: 6



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0" WALL HEIGHT - 9'-1 1/8"

**SQUARE FOOTAGE TABLE**

FOUNDATION	
CRAWL SPACE	3819 SF
FIRST FLOOR	
FINISHED SQUARE FOOTAGE	3952 SF
ALL GARAGE SQUARE FOOTAGE	1261 SF
COVERED PORCH SQUARE FOOTAGE	397 SF
FRONT PORCH SQUARE FOOTAGE	110 SF
SECOND FLOOR	
FINISHED SQUARE FOOTAGE	651 SF
UNFINISHED SQUARE FOOTAGE	0 SF
<b>TOTAL FINISH SQ. FT.</b>	<b>4603SF</b>
<b>TOTAL SQUARE FOOTAGE</b>	<b>4603SF</b>

**NOTES**  
 IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP, TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

SCALE	1/4" = 1'-0"
DRAWN BY	MUS
CHECKED	MUS

PROJECT	HASTINGS RESIDENCE
CLIENT INFORMATION	ZION ESTATES LOT 11
SHEET TITLE	FIRST FLOOR PLAN

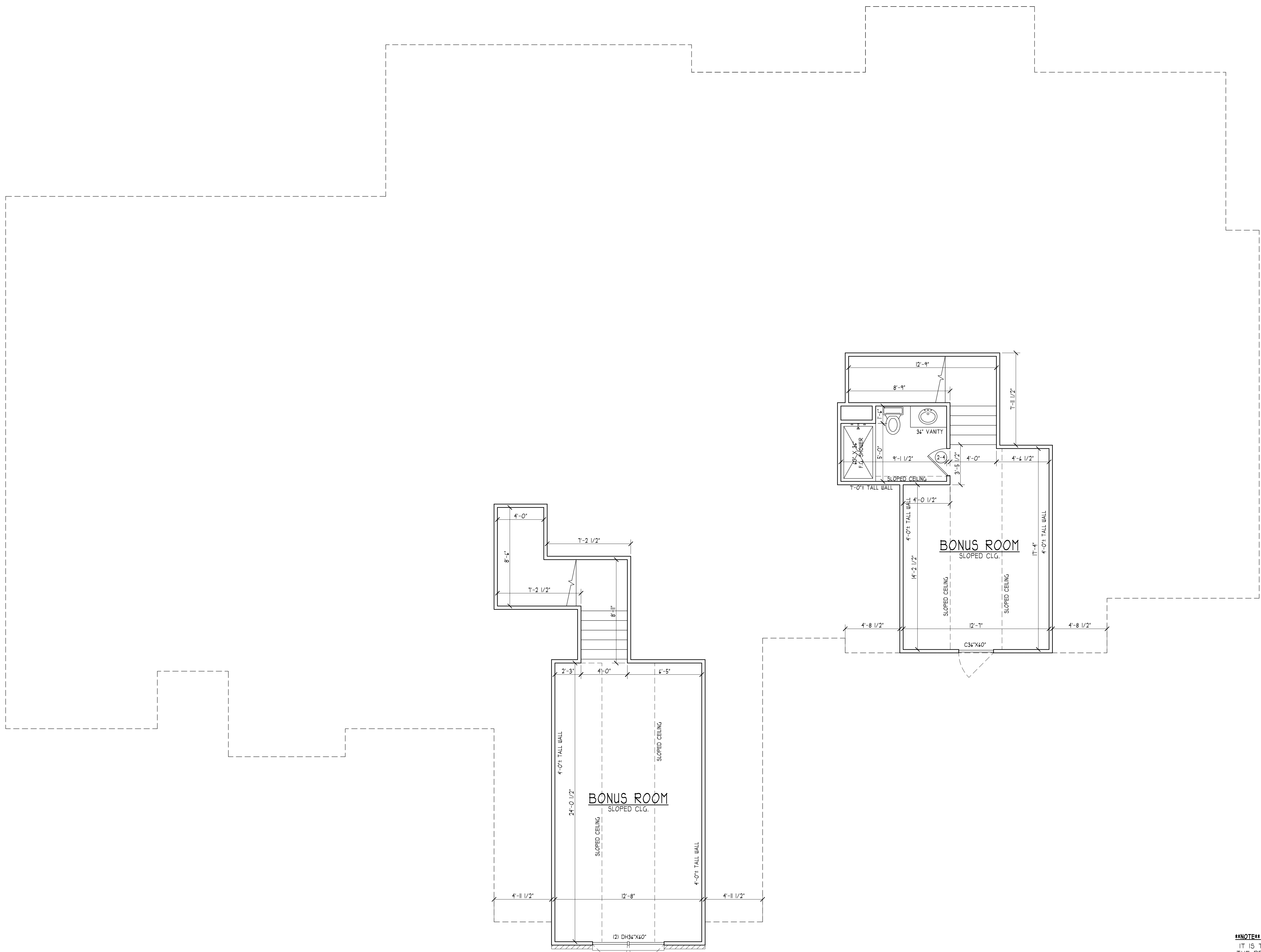
  

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OF	4
DATE	1/31/25
DWN NO	6

# SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

WALL HEIGHT - 8'-1 1/8"



### GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR WALLS ARE 2X4 OR 2X4 AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 2X4 W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
- VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
- INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
- BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
- STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
- ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
- ALL BEDROOM EGRESS WINDOWS TO MEET MIN. CLEAR OPENING OF 5.7 FT UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

### SQUARE FOOTAGE TABLE

FOUNDATION	
CRAWL SPACE	3819 SF
FIRST FLOOR	
FINISHED SQUARE FOOTAGE	3952 SF
ALL GARAGE SQUARE FOOTAGE	1261 SF
COVERED PORCH SQUARE FOOTAGE	397 SF
FRONT PORCH SQUARE FOOTAGE	110 SF
SECOND FLOOR	
FINISHED SQUARE FOOTAGE	651 SF
UNFINISHED SQUARE FOOTAGE	0 SF
<b>TOTAL FINISH SQ. FT.</b>	<b>4603SF</b>
<b>TOTAL SQUARE FOOTAGE</b>	<b>4603SF</b>

**\*\*NOTE\*\***  
IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

SCALE	1/4"=1'-0"
DRAWN BY	MUS
CHECKED	MUS

DATE	REVISIONS

PROJECT	HASTINGS RESIDENCE
	ZION ESTATES LOT II
SHEET TITLE	SECOND FLOOR PLAN

CLIENT INFORMATION	
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EMAIL: SHAWDESIGN@GMAIL.COM

SHEET NO	A-4
OF	4
DATE	1/31/25
DWN NO	6